



*Westbrook, Maine*

# **Economic Development Projects Update to City Council**

Robyn Saunders, Project Manager

Daniel Stevenson, Economic Development Director

January 6<sup>th</sup>, 2025



An aerial photograph of a city, likely Hartford, Connecticut, featuring a river, a bridge, and several large, multi-story buildings. The image is overlaid with a large, stylized graphic consisting of a green circle and a blue circle that overlap each other. The text "Where are we now?" is written in a white, cursive font across the center of the image.

*Where are  
we now?*



# 2025 Project Update

Robyn Saunders, Project Manager

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A wide-angle photograph of Westbrook Common, an outdoor plaza. The foreground is paved with a pattern of light and dark grey hexagonal pavers. A large, leafless tree stands prominently in the center-right. Several black light poles are spaced across the plaza. In the background, there are commercial buildings, including one with a 'PAPER CITY' sign and another with 'SMOKED MEATS WHISKY' signage. String lights are strung across the sky. The sky is blue with some light clouds.

# Westbrook Common



# Westbrook Common

## Financials

SOURCES OF FUNDS		USES OF FUNDS	
Westbrook Environmental Improvement Corporation (WEIC)	\$ 1,150,000	Project Management	\$ 32,606
American Rescue + Recovery Act funds	\$ 400,000	Construction	
Portland Water District Agreement	\$ 348,600	Stormdrain Replacement	\$ 395,000
Cornelia Warren Community Association	\$ 300,000	Water Main Replacement + Irrigation	\$ 342,790
City of Westbrook		Remaining construction items (pavers, excavation, etc.)	\$ 1,729,127
Sale of Bath Savings lot	\$ 200,000	Electrical supplies + contractor	\$ 193,811
Sale of Westbrook Heights	\$ 161,000	Landscaping	\$ 8,760
Capital Investment Plan	\$ 280,000	Finishes (benches, lighting, signage, etc.)	\$ 87,491
Donation from Parra Family	\$ 2,500	Monument to James Parra	\$ 2,500
		Land purchase (850 Main St)	\$ 49,992
<b>TOTAL FUNDS AVAILABLE</b>	<b>\$ 2,842,100</b>		<b>\$ 2,842,078</b>



# Westbrook Common

## Public Benefit

- Revitalized blighted area, including utility and infrastructure upgrades
- Enhanced landscaping, hardscaping, lighting, and seating to support events and outdoor dining
- Added landmark features, including a rain garden, sculpture, and granite memorials

## Project Highlights + Status

- Power switched over to new transformer within 2-hour timeframe
- Pilot project for landscape-scale irrigation system
- Discover Downtown Westbrook programs + stewards the space as a destination location
- Constructed over 2 construction seasons





# Cornelia Warren Recreation Area



# Cornelia Warren Recreation Area

## Financials

SOURCES OF FUNDS			USES OF FUNDS		
City of Westbrook	\$	543,314	Project Management	\$	27,563
DACF - Land + Water Conservation Fund (LWCF) grant	\$	375,000	Design + Engineering Services		
			Haley Ward	\$	128,500
Cumberland Co. CDBG Program funds	\$	178,292	Credere Associates	\$	3,436
Cornelia Warren Community Association	\$	100,000	Construction		
			Shaw Earthworks base bid	\$	1,000,606
Westbrook Environmental Improvement Corp	\$	35,000	Additional Drainage + Remediation		65700.5
Westbrook Rec + Con Commission	\$	15,000	Signage	\$	20,800
<b>TOTAL FUNDS AVAILABLE</b>	<b>\$</b>	<b>1,246,606</b>		<b>\$</b>	<b>1,246,606</b>

# Cornelia Warren Recreation Area

## Public Benefit

- Replaced infield at Warren Field + backstop at Fraser Field
- Added signage + lighting to improve security + visibility
- Improved parking lot, sidewalks, trailhead to ADA standards
- Improved utilities (water, electricity, stormwater management, etc.)
- Removed pool hazards + replaced with unprogrammed recreational field
- Remediated urban fill encountered

## Project Highlights + Status

- Leveraged additional grant dollars from LWCF + CDBG Programs
- Utilized MaineDOT's approach (i.e., prioritization matrix) to identify project elements to be included in the design + construction
- Navigated complexities of challenging project + funding programs
- Completed over 2 years



A wide-angle photograph of a newly upgraded wooden boardwalk. The boardwalk is made of light-colored wooden planks and runs along a river. It features a green metal railing with horizontal wooden handrails. To the left of the boardwalk is a dense row of dark red bushes. In the background, a large, multi-story brick building with many windows stands behind a line of bare trees. The sky is blue with scattered white clouds. The text "Boardwalk Upgrade" is overlaid in white on the lower left portion of the image.

# Boardwalk Upgrade



# Boardwalk Upgrade

## Financials

SOURCES OF FUNDS			USE OF FUNDS		
Cumberland Co. CDBG Program		\$ 195,000.00	Great Falls Construction		
			Emergency Repair	\$	9,717.94
City of Westbrook CIP Funds		\$ 550,000.00	Boardwalk Redecking	\$	623,352.00
			Powder Coating Additional Rails	\$	16,225.00
			Corey Electric		
			Emergency Repair	\$	2,505.00
			Materials	\$	560.42
			ALLOWANCE		
			Additional Lighting	\$	92,640.00
<b>TOTAL FUNDS AVAILABLE</b>		<b>\$ 745,000.00</b>			<b>\$ 745,000.36</b>



# Boardwalk Upgrade

## Public Benefit

- Revitalized public greenspace with ADA accessibility to key downtown amenities
- Provided a year-round scenic gathering place in downtown Westbrook
- Boosted local businesses with a seasonal outdoor dining venue

## Project Highlights + Status

- Performed emergency repairs prior to starting construction
- Utilized existing design(s) + specifications from original project in 2003
- Completed in 1 construction season

# Lincoln Street Boat Launch Phase I & II



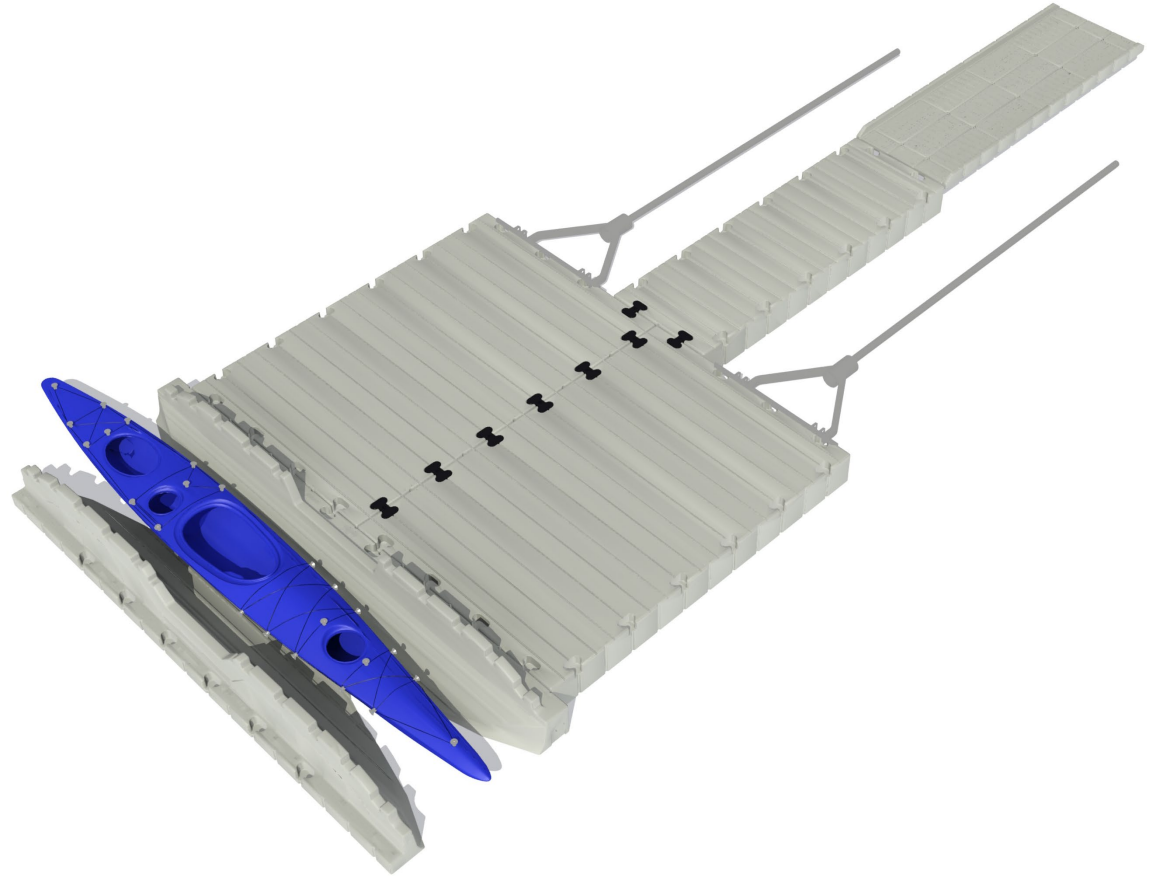


# Lincoln Street Boat Launch

## Financials – Phase I

SOURCES OF FUNDS			USES OF FUNDS		
Cumberland Co. CDBG Funding	\$158,534.00		Construction (ramp, lot, access, etc.)		\$213,173.00
			Dock system		\$10,833.00
City of Westbrook			Vegetation management (goats, inv. Species)		\$19,365.00
Capital Reserves (sale of property)	\$80,000.00		Project management		\$17,400.00
Rec+ Con (open space funds)	\$20,000.00		Signage		\$265.00
SAPPI contribution (prev. effort)	\$5,500.00		Green Infrastructure Maintenance		\$2,999.00
<b>TOTAL FUNDS AVAILABLE</b>	<b>\$ 264,034</b>				<b>\$ 264,035</b>

# Lincoln Street Boat Launch Phase I & II





# Lincoln Street Boat Launch

## Financials – Phase II

SOURCES OF FUNDS				USES OF FUNDS	
DACF - Regional Trails Program (RTP) grant	\$ 20,000			Construction (ramp, lot, access, etc.)	\$ 3,560
Rec + Con (open space fund: 40 Bell St)	\$ 4,000			Dock system	\$ 13,940
				Vegetation management (goats, inv. Species	\$ 6,500
TOTAL FUNDS AVAILABLE		\$ 24,000		\$ 24,000	

# Lincoln Street Boat Launch Phase I & II

## Public Benefit

- Addressed erosion, runoff, storm drains, etc. to improve water quality
- Improved grading, parking lot, access road, etc. around dock + rink
- Utilized green infrastructure + low impact development (LID) techniques
- Addressed invasive species within shoreland zone along riverbank
- Promoted accessible recreation and safe river access for the community

## Project Highlights + Status

- Leveraged over half of the project cost from external CDBG funding
- Restored meadow using GOATS to manage overgrowth
- Implemented on-going vegetation management with specialty contractor to combat invasive species (bittersweet, bamboo, etc.)
- Completed Phase I over 2 years
- Supported by Rec + Con Commission



# Downtown Parking Garage

# Downtown Parking Garage

## Financials

SOURCES OF FUNDS		USES OF FUNDS	
WEIC Funding	\$ 57,200	Due Diligence	\$ 57,200
Portland Water District - water main upgrade	\$ 289,850	Design Phase	
		Design by Harriman Associates	\$ 1,173,336
Cumberland Co. ARPA Award - sewer + stormdrain upgrades	\$ 500,000	Structural Engineering Peer Review	\$ 46,000
Maine Municipal Bond Bank Proceeds	\$ 23,000,000	Construction Phase	
		Construction Management by Wright Ryan	\$ 21,655,746
		Quality Control by multiple contractors	\$ 124,129
		Builders Risk Insurance	\$ 48,479
		Soft Costs	\$ 742,160
<b>TOTAL FUNDS AVAILABLE</b>	<b>\$ 23,847,050</b>		<b>\$ 23,847,050</b>



# Downtown Parking Garage

## Public Benefit

- Ample FREE parking in the heart of our downtown
- Open to the public 24/7/365
- Sheltered place for citizens' cars to be protected during weather events
- Over \$2M in utility upgrades to benefit residents + businesses in our region

## Project Highlights + Status

- Security cameras monitored 24/7
- Parking attendant patrols during business hours to ensure citizens' safety
- Security guards + WPD augment patrol
- High-visibility glass stairwells
- Completed in June 2024 – some aspects related to Vertical Harvest still under construction



**Saccarappa Park**



# Saccarappa Park

## Financials – Phase I Brownfields Remediation

PHASE I - BROWNFIELDS REMEDIATION						
SOURCE OF FUNDS			USE OF FUNDS			
Land Acquisition	\$	-		Westbrook Housing Authority	\$	150,000
City-owned property				Stroudwater St. Ice rink replacement		
Due Diligence	\$	-		Account #2100 1000 59400 02102		
Prev'ly completed Ph I + Ph ESAs, ABCA, CEP				Westbrook Environmental Improvement Corp	\$	48,000
Qualified Environmental Professional Services	\$	300,000		Sale of Scarborough Property		
Public Engagement w/designer(s)				Account # 2200 1390 59400 02299		
Design with mult-disciplinary team				Site Restoration Funds	\$	58,680
Construction - Phase I: Sitework + Concrete	\$	856,680		Account # 4400 1000 59400 B2101		
Engineered soil cover, remediation, foundation				DECD Brownfields RLF Funding	\$	900,000
				\$450K grant + \$450K low-interest loan		
PHASE I - SUBTOTAL	\$	1,156,680		PHASE I - SUBTOTAL	\$	1,156,680

# Saccarappa Park

## Financials – Phase II Park Redevelopment

PHASE II - PARK REDEVELOPMENT					
SOURCE OF FUNDS			USE OF FUNDS		
Construction Documents + Oversight	\$	172,410	Private equity donors	\$	3,000,000
			<i>appeal for funding</i>		
Construction of Designed Structure	\$	3,000,000	City of Westbrook	\$	700,000
<i>Final Cost TBD by QEP</i>			<i>Additional equity donors (CIP, WEIC, Rec + Con, etc.)</i>		
Accessories + Community Amenities	\$	527,590			
<i>Zamboni, Rest Rooms, etc.</i>					
PHASE II - SUBTOTAL	\$	3,700,000	PHASE II - SUBTOTAL	\$	3,700,000
TOTAL USES OF FUNDS	\$	4,856,680	TOTAL SOURCES OF FUNDS	\$	4,856,680



# Saccarappa Park

## Public Benefit

- Investment in public space as destination location in the heart of our downtown
- Preservation of greenspace with access to boardwalk and views of Saccarappa Falls
- Any remaining environmental contaminants to be cleaned up
- Public amenity with year-round programs to be informed by robust public engagement process

## Project Highlights + Status

- Started public engagement process in Aug 2024
- Received 4 bids for Qualified Environmental Professional (QEP) services
  - Awarded to Credere team (4-yr contract)
  - Included subcontractors working on adjacent River Walk West project
- Applied phased approach to allow maximum flexibility in financing



# River Walk West





# River Walk West

## Public Benefit

- Leverage \$500K in State brownfields revolving loan fund to cleanup any residual contamination from past industrial uses on these 3 blighted parcels
- Create new connections + public access to the River in westerly direction from downtown
- Generate additional jobs, both temporary (construction) + permanent

## Project Highlights + Status

- Leverages both public + private dollars in project investment
  - Private developer to construct + maintain a portion of River Walk West
  - Private developer agrees to allow access to Saccharappa Island
- Allows Mill Lane to be re-aligned + re-configured to meet public roadway standards



# River Walk North





# River Walk North

## Financials

SOURCES OF FUNDS		USES OF FUNDS	
WEIC Funding	\$ 300,000	Due Diligence	\$ 100,000
USEPA Brownfields Award	\$ 4,000,000	Design Phase - PRELIMINARY ESTIMATE	\$ 250,000
		Construction Phase - PRELIMINARY ESTIMATE	\$ 7,500,000
Funds Needed	\$ 3,700,000	Soft Costs	\$ 150,000
<b>TOTAL FUNDS AVAILABLE</b>	<b>\$ 8,000,000</b>		<b>\$ 8,000,000</b>

# River Walk North

## Public Benefit

- Survey archaeological assets along riverbanks (and possibly island)
- Cleanup residual contamination from past industrial uses
- Construct ADA-compliant pedestrian loop around downtown Westbrook, connecting dense residential areas
- Provide recreational opportunities within challenged areas (i.e., social + environmental justice)

## Project Highlights + Status

- Utilize UCONN TAB program to conduct site reuse assessment
- Update design to incorporate what we know about landslide susceptibility in Presumpscot River Corridor and other safety measures
- Leverage major grant award of \$4M with USEPA, a tremendous resource + support for the project
- Expect a robust public process



# River Walk South





# River Walk South – Light Improvements

## Public Benefit

- Light installation provides safer pedestrian travel, especially during dark winter hours
- Illumination for a well-utilized path that leads to various areas:
  - Local businesses
  - Public services (Post Office, Walker Memorial Library)
  - Recreational amenities (Riverbank Park, Warren Rec Complex, etc.)
  - Senior housing and neighborhoods

## Project Highlights + Status

- Part of a continuous and walkable two-mile loop around downtown + the Presumpscot River
- Project to include lighting improvements for well-known route from Ash Street to the Black Bridge
- Cumberland County CDBG Program assistance has been requested for FY25-FY26



An aerial photograph showing a landslide area. A river flows through the center, with a large area of exposed earth and debris on the left bank. Two excavators are visible on a wooden platform or bridge structure. The surrounding forest has trees with yellow and orange autumn foliage. The text "Landslide Vulnerability Assessment" is overlaid in large white letters on the right side.

# Landslide Vulnerability Assessment



# Landslide Vulnerability Assessment

## Financials

SOURCES OF FUNDS				USES OF FUNDS			
Congressionally Directed Spending (CDS) Award:		\$986,500		Consultant Coordinator assists w/grant admin		\$	117,300
MEMA Grant Contract #15A 20230921*849				Credere Associates			
CDS-required Match Requirement = 25% (\$246,625)				Subject Matter Experts			
				Technical Advisory Panelists		\$	50,000
CASH	Maine Infrastructure Adaptation Fund Award	\$ 120,000	CASH	UMaine College of Engineering grad student		\$	126,000
IN-KIND SERVICES		\$ 126,625	IN-KIND SERVICES	Maine Geological Survey: susceptibility mapping		\$	75,000
Personnel participation from Presumpscot River municipalities			Analytical Laboratory Services			\$	50,000
Legal review + recommendations by City Solicitor (JBGH)			Construction Contractor				
Landslide susceptibility mapping by MGS			Geotechnical Field Services			\$	550,000
			Consultant Services				
			Buildout Analysis			\$	30,000
			Ordinance Review + Program Development			\$	60,000
			Other				
			Personnel			\$	77,425
			Legal Review + Recommendations			\$	5,000
			Travel			\$	9,555
			Supplies (signs, software, H+S equip't, copies, etc.)			\$	12,000
			Contingency			\$	70,845
TOTAL FUND AVAILABLE		\$1,233,125				\$	1,233,125



# Landslide Vulnerability Assessment

## Public Benefit

- Studying landslides helps preserve natural landscapes, prevent soil erosion, minimize hazards
- Combining data from public + private projects will be used by UMaine Engineering, Maine Geologic Survey, other landslide experts
- Led by scientists + engineers to provide a regional science-based solution, considered first-of-its-kind policy in Maine for landslides

## Project Highlights + Status

- Working with 5 other municipalities in Presumpscot River Corridor toward a regionally-beneficial solution
- Coordinating with public + private partners in a regional solution, including Cumberland Co. EMA
- Preparing for intermunicipal meeting to identify technical experts
- Currently in Year 1 of 3-year project funded by Congressionally Directed Spending with match funds from MaineDOT



A wide-angle photograph of a soccer field under a dramatic, cloudy sky. The foreground is a dark asphalt parking lot with white and blue painted lines. A dark wooden guardrail runs across the middle ground, separating the parking lot from the grassy field. In the background, a line of bare trees and a distant goalpost are visible.

# Westbrook Soccer Field



# Westbrook Soccer Field

## Public Benefit

- Soccer is an inclusive, growing sport in our community for all Westbrook residents
- Soccer is an equitable sport with equal opportunities for players in Westbrook, regardless of gender or skill level
- Other organized sports can benefit from this initiative to improve the existing recreational fields in town

## Project Highlights + Status

- Strong partnership with Westbrook Soccer Club and City staff
- Current fields prioritized for retrofits to meet short-term needs
  - #1 Priority = Small Hardy Road field
  - #2 Priority = East Bridge Street
- An estimate of roughly \$750,000 compiled for four field retrofits
- Discovering long-term solutions for continued growth of the sport

# **Economic Development Department Updates**

Daniel Stevenson, Economic Development Director



# Department Updates

- Business Retention and Expansion (BRE)
- Economic Development Strategic Plan
- Legislative tracking
- Prospect intake

# Economic Development Projects

## Current Projects

- Vertical Harvest
- School House Arts
- Main Street lot redevelopment

## Future Projects

- Garage endcap redevelopment
- Rock Row development
- CSX connectivity to downtown
- Downtown hotel





*Westbrook, Maine*