



Westbrook, Maine

Economic Development Projects Update to City Council

Robyn Saunders, Project Manager

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Where are
we now?

2025 Project Update

Robyn Saunders, Project Manager

- 1. Westbrook Common
- 2. Cornelia Warren Rec
- 3. Boardwalk Upgrade
- 4. Lincoln Street Phase I & II
- 5. Downtown Parking Garage
- 6. Saccarappa Park
- 7. River Walk West
- 8. River Walk North
- 9. River Walk South
- 10. Landslide Vulnerability
- 11. Westbrook Soccer



Westbrook Common

Westbrook Common

Financials

SOURCES OF FUNDS		USES OF FUNDS	
Westbrook Environmental Improvement Corporation (WEIC)	\$ 1,150,000	Project Management	\$ 32,606
American Rescue + Recovery Act funds	\$ 400,000	Construction	
		Stormdrain Replacement	\$ 395,000
Portland Water District Agreement	\$ 348,600	Water Main Replacement + Irrigation	\$ 342,790
		Remaining construction items (pavers, excavation, etc.)	\$ 1,729,127
Cornelia Warren Community Association	\$ 300,000	Electrical supplies + contractor	\$ 193,811
City of Westbrook			
Sale of Bath Savings lot	\$ 200,000	Landscaping	\$ 8,760
Sale of Westbrook Heights	\$ 161,000		
Capital Investment Plan	\$ 280,000	Finishes (benches, lighting, signage, etc.)	\$ 87,491
Donation from Parra Family	\$ 2,500	Monument to James Parra	\$ 2,500
		Land purchase (850 Main St)	\$ 49,992
TOTAL FUNDS AVAILABLE	\$ 2,842,100		\$ 2,842,078

Westbrook Common

Public Benefit

- Revitalized blighted area, including utility and infrastructure upgrades
- Enhanced landscaping, hardscaping, lighting, and seating to support events and outdoor dining
- Added landmark features, including a rain garden, sculpture, and granite memorials

Project Highlights + Status

- Power switched over to new transformer within 2-hour timeframe
- Pilot project for landscape-scale irrigation system
- Discover Downtown Westbrook programs + stewards the space as a destination location
- Constructed over 2 construction seasons



Cornelia Warren Recreation Area

Cornelia Warren Recreation Area

Financials

SOURCES OF FUNDS		USES OF FUNDS		
City of Westbrook	\$ 543,314	Project Management		\$ 27,563
DACF - Land + Water Conservation Fund (LWCF) grant	\$ 375,000	Design + Engineering Services		
			Haley Ward	\$ 128,500
Cumberland Co. CDBG Program funds	\$ 178,292		Credere Associates	\$ 3,436
Cornelia Warren Community Association	\$ 100,000	Construction		
			Shaw Earthworks base bid	\$ 1,000,606
Westbrook Environmental Improvement Corp	\$ 35,000	Additional Drainage + Remediation		65700.5
Westbrook Rec + Con Commission	\$ 15,000	Signage		\$ 20,800
TOTAL FUNDS AVAILABLE	\$ 1,246,606			\$ 1,246,606

Cornelia Warren Recreation Area

Public Benefit

- Replaced infield at Warren Field + backstop at Fraser Field
- Added signage + lighting to improve security + visibility
- Improved parking lot, sidewalks, trailhead to ADA standards
- Improved utilities (water, electricity, stormwater management, etc.)
- Removed pool hazards + replaced with unprogrammed recreational field
- Remediated urban fill encountered

Project Highlights + Status

- Leveraged additional grant dollars from LWCF + CDBG Programs
- Utilized MaineDOT's approach (i.e., prioritization matrix) to identify project elements to be included in the design + construction
- Navigated complexities of challenging project + funding programs
- Completed over 2 years



Boardwalk Upgrade

Boardwalk Upgrade

Financials

SOURCES OF FUNDS		USE OF FUNDS	
Cumberland Co. CDBG Program	\$ 195,000.00	Great Falls Construction	
City of Westbrook CIP Funds	\$ 550,000.00	Emergency Repair	\$ 9,717.94
		Boardwalk Redecking	\$ 623,352.00
		Powder Coating Additional Rails	\$ 16,225.00
		Corey Electric	
		Emergency Repair	\$ 2,505.00
		Materials	\$ 560.42
		ALLOWANCE	
		Additional Lighting	\$ 92,640.00
TOTAL FUNDS AVAILABLE	\$ 745,000.00		\$ 745,000.36

Boardwalk Upgrade

Public Benefit

- Revitalized public greenspace with ADA accessibility to key downtown amenities
- Provided a year-round scenic gathering place in downtown Westbrook
- Boosted local businesses with a seasonal outdoor dining venue

Project Highlights + Status

- Performed emergency repairs prior to starting construction
- Utilized existing design(s) + specifications from original project in 2003
- Completed in 1 construction season

Lincoln Street Boat Launch Phase I & II

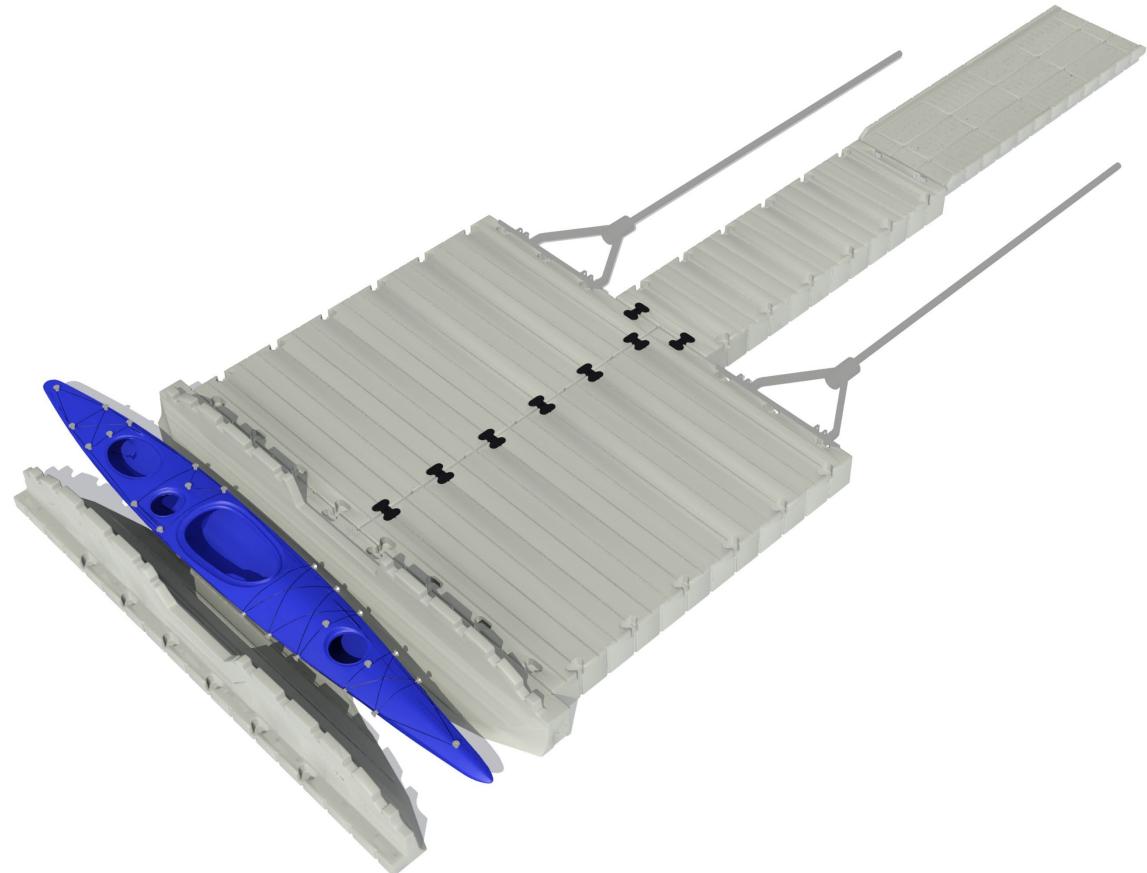


Lincoln Street Boat Launch

Financials – Phase I

SOURCES OF FUNDS		USES OF FUNDS	
Cumberland Co. CDBG Funding	\$158,534.00	Construction (ramp, lot, access, etc.)	\$213,173.00
		Dock system	\$10,833.00
City of Westbrook		Vegetation management (goats, inv. Species)	\$19,365.00
Capital Reserves (sale of property)	\$80,000.00	Project management	\$17,400.00
Rec+ Con (open space funds)	\$20,000.00	Signage	\$265.00
SAPPI contribution (prev. effort)	\$5,500.00	Green Infrastructure Maintenance	\$2,999.00
TOTAL FUNDS AVAILABLE	\$ 264,034		\$ 264,035

Lincoln Street Boat Launch Phase I & II



Lincoln Street Boat Launch

Financials – Phase II

SOURCES OF FUNDS	USES OF FUNDS	
DACF - Regional Trails Program (RTP) grant	\$ 20,000	Construction (ramp, lot, access, etc.)
Rec + Con (open space fund: 40 Bell St)	\$ 4,000	Dock system
		Vegetation management (goats, inv. Species)
TOTAL FUNDS AVAILABLE	\$ 24,000	\$ 24,000

Lincoln Street Boat Launch Phase I & II

Public Benefit

- Addressed erosion, runoff, storm drains, etc. to improve water quality
- Improved grading, parking lot, access road, etc. around dock + rink
- Utilized green infrastructure + low impact development (LID) techniques
- Addressed invasive species within shoreland zone along riverbank
- Promoted accessible recreation and safe river access for the community

Project Highlights + Status

- Leveraged over half of the project cost from external CDBG funding
- Restored meadow using GOATS to manage overgrowth
- Implemented on-going vegetation management with specialty contractor to combat invasive species (bittersweet, bamboo, etc.)
- Completed Phase I over 2 years
- Supported by Rec + Con Commission



Downtown Parking Garage

Downtown Parking Garage

Financials

SOURCES OF FUNDS		USES OF FUNDS	
WEIC Funding	\$ 57,200	Due Diligence	\$ 57,200
Portland Water District - water main upgrade	\$ 289,850	Design Phase	
		Design by Harriman Associates	\$ 1,173,336
Cumberland Co. ARPA Award - sewer + stormdrain upgrades	\$ 500,000	Structural Engineering Peer Review	\$ 46,000
Maine Municipal Bond Bank Proceeds	\$ 23,000,000	Construction Phase	
		Construction Management by Wright Ryan	\$ 21,655,746
		Quality Control by multiple contractors	\$ 124,129
		Builders Risk Insurance	\$ 48,479
		Soft Costs	\$ 742,160
TOTAL FUNDS AVAILABLE	\$ 23,847,050		\$ 23,847,050

Downtown Parking Garage

Public Benefit

- Ample FREE parking in the heart of our downtown
- Open to the public 24/7/365
- Sheltered place for citizens' cars to be protected during weather events
- Over \$2M in utility upgrades to benefit residents + businesses in our region

Project Highlights + Status

- Security cameras monitored 24/7
- Parking attendant patrols during business hours to ensure citizens' safety
- Security guards + WPD augment patrol
- High-visibility glass stairwells
- Completed in June 2024 – some aspects related to Vertical Harvest still under construction

An aerial photograph of Saccarappa Park in Lewiston, Maine. The park is a large, green, open field with a paved path running along its right side. In the background, there is a residential area with houses and trees, and a road with a few cars. The sky is clear and blue.

Saccarappa Park

Saccarappa Park

Financials – Phase I Brownfields Remediation

PHASE I - BROWNFIELDS REMEDIATION		USE OF FUNDS	
SOURCE OF FUNDS			
Land Acquisition	\$ -	Westbrook Housing Authority	\$ 150,000
<i>City-owned property</i>		<i>Stroudwater St. Ice rink replacement</i>	
Due Diligence	\$ -	<i>Account #2100 1000 59400 02102</i>	
<i>Prev'ly completed Ph I + Ph ESAs, ABCA, CEP</i>			
Qualified Environmental Professional Services	\$ 300,000	Westbrook Environmental Improvement Corp	\$ 48,000
<i>Public Engagement w/designer(s)</i>		<i>Sale of Scarborough Property</i>	
<i>Design with multi-disciplinary team</i>		<i>Account # 2200 1390 59400 02299</i>	
Construction - Phase I: Sitenwork + Concrete	\$ 856,680	Site Restoration Funds	\$ 58,680
<i>Engineered soil cover, remediation, foundation</i>		<i>Account # 4400 1000 59400 B2101</i>	
		DECD Brownfields RLF Funding	\$ 900,000
		<i>\$450K grant + \$450K low-interest loan</i>	
PHASE I - SUBTOTAL		PHASE I - SUBTOTAL	\$ 1,156,680

Saccarappa Park

Financials – Phase II Park Redevelopment

PHASE II - PARK REDEVELOPMENT			
SOURCE OF FUNDS		USE OF FUNDS	
Construction Documents + Oversite	\$ 172,410	Private equity donors	\$ 3,000,000
<i>Construction of Designed Structure</i>	<i>\$ 3,000,000</i>	<i>City of Westbrook</i>	<i>\$ 700,000</i>
<i>Final Cost TBD by QEP</i>		<i>Additional equity donors (CIP, WEIC, Rec + Con, etc.)</i>	
Accessories + Community Amenities	\$ 527,590		
<i>Zamboni, Rest Rooms, etc.</i>			
PHASE II - SUBTOTAL		PHASE II - SUBTOTAL	\$ 3,700,000
TOTAL USES OF FUNDS	\$ 4,856,680	TOTAL SOURCES OF FUNDS	\$ 4,856,680

Saccarappa Park

Public Benefit

- Investment in public space as destination location in the heart of our downtown
- Preservation of greenspace with access to boardwalk and views of Saccarappa Falls
- Any remaining environmental contaminants to be cleaned up
- Public amenity with year-round programs to be informed by robust public engagement process

Project Highlights + Status

- Started public engagement process in Aug 2024
- Received 4 bids for Qualified Environmental Professional (QEP) services
 - Awarded to Credere team (4-yr contract)
 - Included subcontractors working on adjacent River Walk West project
- Applied phased approach to allow maximum flexibility in financing

River Walk West



River Walk West

Public Benefit

- Leverage \$500K in State brownfields revolving loan fund to cleanup any residual contamination from past industrial uses on these 3 blighted parcels
- Create new connections + public access to the River in westerly direction from downtown
- Generate additional jobs, both temporary (construction) + permanent

Project Highlights + Status

- Leverages both public + private dollars in project investment
 - Private developer to construct + maintain a portion of River Walk West
 - Private developer agrees to allow access to Saccarappa Island
- Allows Mill Lane to be re-aligned + re-configured to meet public roadway standards

River Walk North



River Walk North

Financials

SOURCES OF FUNDS		USES OF FUNDS	
WEIC Funding	\$ 300,000	Due Diligence	\$ 100,000
USEPA Brownfields Award	\$ 4,000,000	Design Phase - PRELIMINARY ESTIMATE	\$ 250,000
		Construction Phase - PRELIMINARY ESTIMATE	\$ 7,500,000
Funds Needed	\$ 3,700,000	Soft Costs	\$ 150,000
TOTAL FUNDS AVAILABLE	\$ 8,000,000		\$ 8,000,000

River Walk North

Public Benefit

- Survey archaeological assets along riverbanks (and possibly island)
- Cleanup residual contamination from past industrial uses
- Construct ADA-compliant pedestrian loop around downtown Westbrook, connecting dense residential areas
- Provide recreational opportunities within challenged areas (i.e., social + environmental justice)

Project Highlights + Status

- Utilize UCONN TAB program to conduct site reuse assessment
- Update design to incorporate what we know about landslide susceptibility in Presumpscot River Corridor and other safety measures
- Leverage major grant award of \$4M with USEPA, a tremendous resource + support for the project
- Expect a robust public process

River Walk South



River Walk South – Light Improvements

Public Benefit

- Light installation provides safer pedestrian travel, especially during dark winter hours
- Illumination for a well-utilized path that leads to various areas:
 - Local businesses
 - Public services (Post Office, Walker Memorial Library)
 - Recreational amenities (Riverbank Park, Warren Rec Complex, etc.)
 - Senior housing and neighborhoods

Project Highlights + Status

- Part of a continuous and walkable two-mile loop around downtown + the Presumpscot River
- Project to include lighting improvements for well-known route from Ash Street to the Black Bridge
- Cumberland County CDBG Program assistance has been requested for FY25-FY26

An aerial photograph of a landslide site. The upper portion of the image shows a steep hillside with a mix of green and yellow autumn foliage. A large, dark, muddy area indicates a recent landslide or mudslide. In the lower-left foreground, there is a construction site with several pieces of heavy machinery, including excavators, and wooden structures. A small body of water is visible at the bottom left. The overall scene suggests a natural disaster has occurred, likely a mudslide, and efforts are underway to assess and mitigate the damage.

Landslide Vulnerability Assessment

Landslide Vulnerability Assessment

Financials

SOURCES OF FUNDS		USES OF FUNDS	
Congressionally Directed Spending (CDS) Award: MEMA Grant Contract #15A 20230921*849	\$ 986,500	Consultant Coordinator assists w/grant admin Credere Associates Subject Matter Experts	\$ 117,300
CDS-required Match Requirement = 25% (\$246,625)		Technical Advisory Panelists	\$ 50,000
CASH Maine Infrastructure Adaptation Fund Award	\$ 120,000 CASH	UMaine College of Engineering grad student	\$ 126,000
IN-KIND SERVICES	\$ 126,625 IN-KIND SERVICES	Maine Geological Survey: susceptibility mapping	\$ 75,000
Personnel participation from Presumpscot River municipalities		Analytical Laboratory Services	\$ 50,000
Legal review + recommendations by City Solicitor (JBGH)		Construction Contractor	
Landslide susceptibility mapping by MGS		Geotechnical Field Services	\$ 550,000
		Consultant Services	
		Buildout Analysis	\$ 30,000
		Ordinance Review + Program Development	\$ 60,000
		Other	
		Personnel	\$ 77,425
		Legal Review + Recommendations	\$ 5,000
		Travel	\$ 9,555
		Supplies (signs, software, H+S equip't, copies, etc.)	\$ 12,000
		Contingency	\$ 70,845
TOTAL FUND AVAILABLE	\$ 1,233,125		\$ 1,233,125

Landslide Vulnerability Assessment

Public Benefit

- Studying landslides helps preserve natural landscapes, prevent soil erosion, minimize hazards
- Combining data from public + private projects will be used by UMaine Engineering, Maine Geologic Survey, other landslide experts
- Led by scientists + engineers to provide a regional science-based solution, considered first-of-its-kind policy in Maine for landslides

Project Highlights + Status

- Working with 5 other municipalities in Presumpscot River Corridor toward a regionally-beneficial solution
- Coordinating with public + private partners in a regional solution, including Cumberland Co. EMA
- Preparing for intermunicipal meeting to identify technical experts
- Currently in Year 1 of 3-year project funded by Congressionally Directed Spending with match funds from MaineDOT



Westbrook Soccer Field

Westbrook Soccer Field

Public Benefit

- Soccer is an inclusive, growing sport in our community for all Westbrook residents
- Soccer is an equitable sport with equal opportunities for players in Westbrook, regardless of gender or skill level
- Other organized sports can benefit from this initiative to improve the existing recreational fields in town

Project Highlights + Status

- Strong partnership with Westbrook Soccer Club and City staff
- Current fields prioritized for retrofits to meet short-term needs
 - #1 Priority = Small Hardy Road field
 - #2 Priority = East Bridge Street
- An estimate of roughly \$750,000 compiled for four field retrofits
- Discovering long-term solutions for continued growth of the sport

Economic Development Department Updates

Daniel Stevenson, Economic Development Director

Department Updates

- Business Retention and Expansion (BRE)
- Economic Development Strategic Plan
- Legislative tracking
- Prospect intake

Economic Development Projects

Current Projects

- Vertical Harvest
- School House Arts
- Main Street lot redevelopment

Future Projects

- Garage endcap redevelopment
- Rock Row development
- CSX connectivity to downtown
- Downtown hotel



Westbrook, Maine